

Bismarck

Community Development Department

April 25, 2019

Mark Gaydos
Hay Creek Township Supervisor
5240 Meadowcrest Road
Bismarck, ND 58503

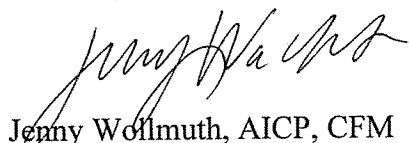
Dear Mr. Gaydos:

Please be advised that the Bismarck Planning & Zoning Commission will hold a public hearing on a special use permit to allow the construction of a 3,128 square foot accessory building to be located on Lot 10, Block 4, Pheasant Valley Subdivision, which may be of interest to you at its meeting of May 23, 2019, at 5:00 p.m. in the Tom Baker Meeting Room, City-County Office Building, 221 North 5th Street, Bismarck, North Dakota.

The proposed special use permit is shown on the attached enclosures and is available for inspection at the Community Development Department ~ Planning Division, 221 North 5th Street, Bismarck, North Dakota.

If you have any questions or need any additional information on this request, please contact me, the planner in our office assigned to this request, at 355-1845.

Sincerely,



Jenny Wolfmuth, AICP, CFM
Planner

JW/hlb

Enc: Location Map
Resolution
Elevations



RESOLUTION

WE, THE BOARD OF TOWNSHIP SUPERVISORS OF HAY CREEK TOWNSHIP,
BURLEIGH COUNTY, NORTH DAKOTA, HAVE BEEN ADVISED OF THE
SPECIAL USE PERMIT FOR A 3,128 SQUARE-FOOT ACCESSORY BUILDING TO
BE LOCATED ON LOT 10, BLOCK 4, PHEASANT VALLEY SUBDIVISION, AND
HEREBY RECOMMEND TO THE BOARD OF CITY COMMISSIONERS THAT
SAID SPECIAL USE PERMIT BE (APPROVED)(DENIED). (PLEASE ATTACH
CONDITIONS, IF ANY, TO THE BOARD'S ACTION.)

IF THE TOWNSHIP IS RECOMMENDING DENIAL, PLEASE LIST THE REASONS:

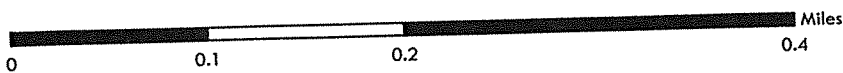
CHAIRMAN, TOWNSHIP BOARD DATE

ATTEST: TOWNSHIP CLERK DATE



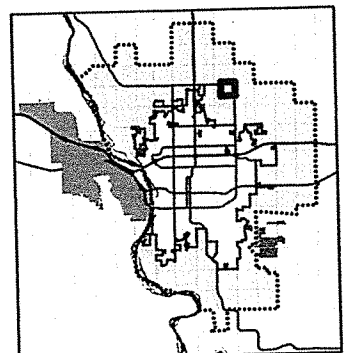
Location Map

Lot 10, Block 4, Pheasant Valley Subdivision



- Project Area
- Bismarck ETA Jurisdiction
- City Limits
- County Outside ETA

Section, township, and range indicated in orange

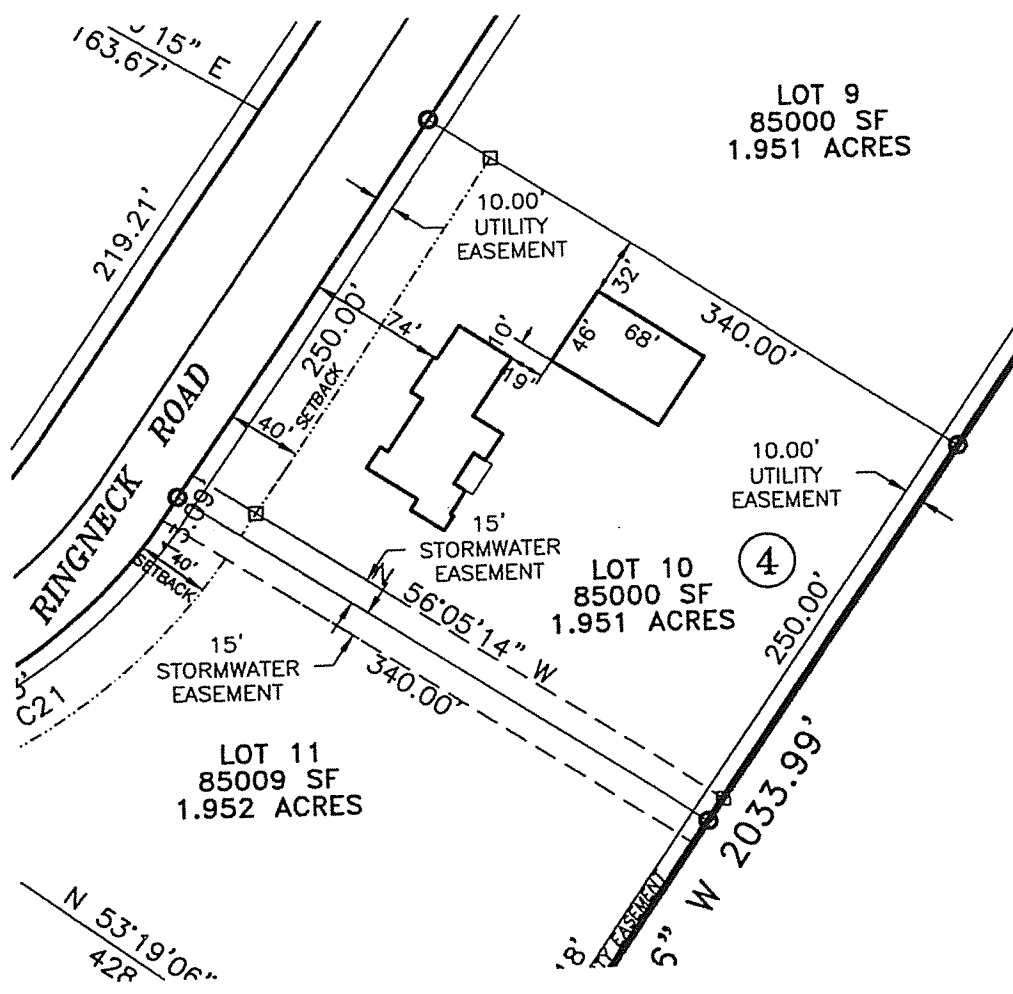


City of Bismarck
 Community Development Department
 Planning Division
 April 16, 2019 (HLB)

This map is for representational use only and does not represent a survey. No liability is assumed as to the accuracy of the data delineated herein.

LOT SURVEY EXHIBIT

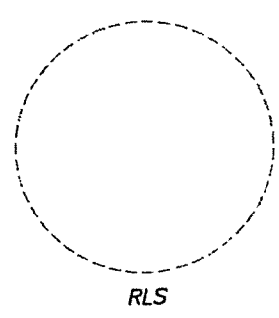
LOT 10 BLOCK 4
 SUBDIVISION PHEASANT VALLEY
 ADDRESS RINGNECK ROAD
 BUILDER PETE BRENDL




N

SCALE: 1" = 100'
 DATE: 2/26/08
 Revised: 4/5/19

- FOUND MONUMENT
- ⊙ SET MONUMENT
- BUILDING SETBACK OR NON-ACCESS STAKE





SWENSON, HAGEN & COMPANY P.C.

909 Basin Avenue
 Bismarck, North Dakota 58504
 sheng@swensonhagen.com
 Phone (701) 223-2600
 Fax (701) 223-2606

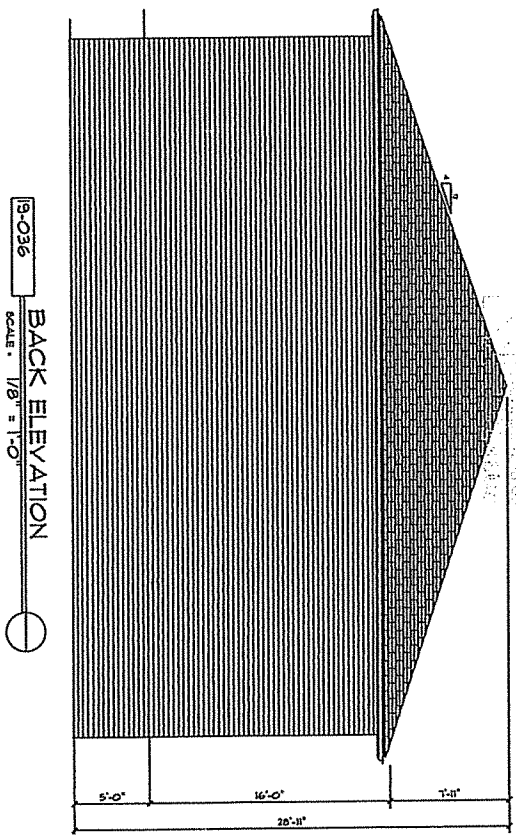
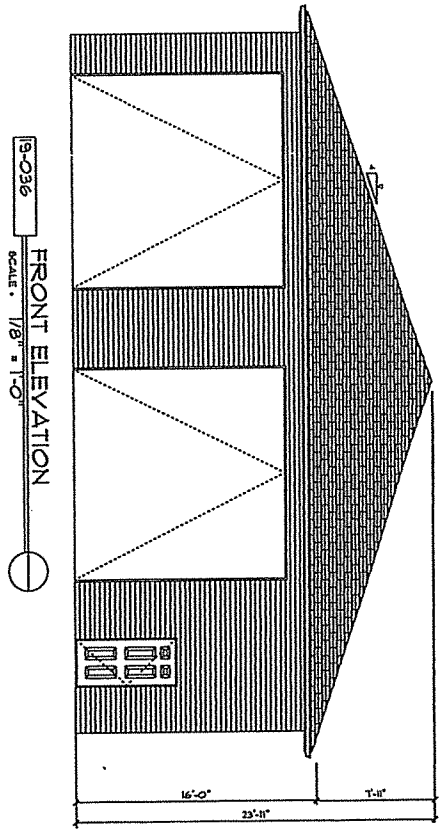
Surveying
 Hydrology
 Land Planning
 Civil Engineering
 Landscape & Site Design
 Construction Management

NOTES

THE BUILDING SETBACK LINES SHOWN ARE TYPICAL. THERE MAY BE OTHER BUILDING RESTRICTIONS THAT AFFECT THIS PROPERTY. THE BUILDER IS RESPONSIBLE FOR VERIFYING THE BUILDING SETBACKS.

FAXED TO: _____
 BUILDER OR OWNER

DATED: _____



ALL RIGHTS RESERVED

19-036
 CONTRACTOR:
 Jason Brendel
 customer: Shop

PRINT DATE: Thursday, April 15, 2016
 PRINT TIME: 10:28 AM

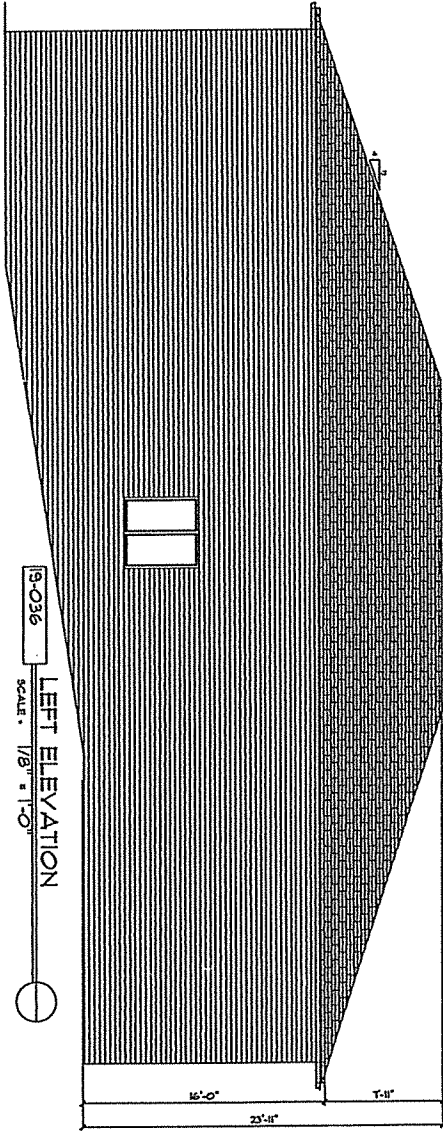
SCALE:
 1/8" = 1'-0"
 DESIGN BY:
 Jeffery Deane



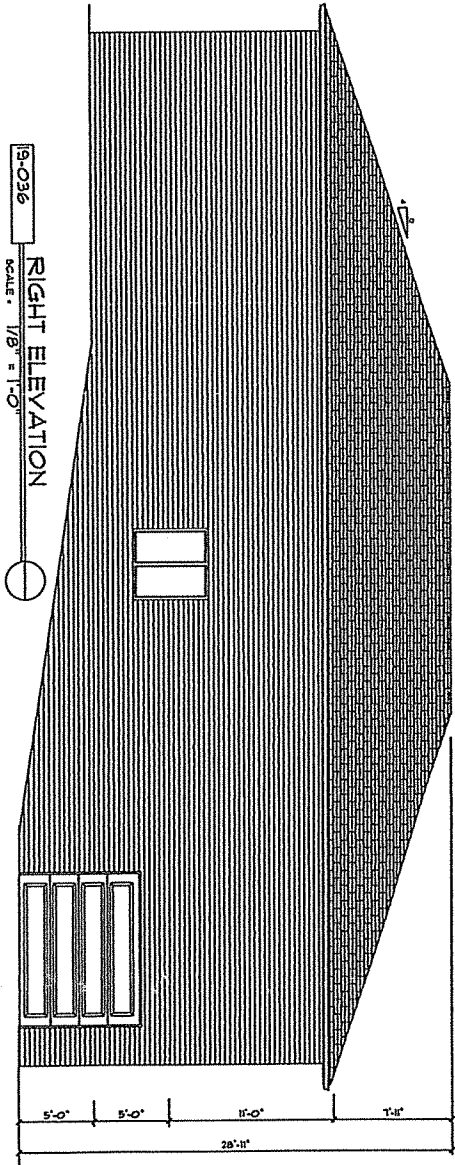
Builders
FirstSource

110 25TH AVE.
 P.O. BOX 25
 WILSONVILLE, OR 97148
 PHONE: 503.261.1000
 FAX: 503.261.1001

NOTE: VERIFY ALL DIMENSIONS.
 ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAFE FOR ALL GOVERNING CODES AND BUILDING PRACTICES. HOWEVER, STATE AND LOCAL CODES VARY WIDELY. THE DESIGNER AND "UDC" SHALL NOT BE HELD LIABLE FOR ANY ERRORS. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES. DO NOT SCALE DRAWINGS, PRINTED DIMENSIONS OVERRIDE SCALING. VERIFY WITH THE SUPPLIER MANUFACTURE ON ALL FINISHES AND APPLICABLE ACCESS REQUIREMENTS. CONTRACTOR SHALL VERIFY ALL MECHANICAL AND ELECTRICAL REQUIREMENTS AND CLEARANCE. CONTRACTOR SHALL VERIFY ALL FLOOR AND ROOF BEARING LOCATIONS. CONTRACTOR SHALL VERIFY ALL DECK AND HEADER SIZES FOR CODE COMPLIANCE.



19-036 LEFT ELEVATION
SCALE = 1/8" = 1'-0"



19-036 RIGHT ELEVATION
SCALE = 1/8" = 1'-0"

ALL RIGHTS RESERVED

PLAN	19-036	PRINT DATE/Time: April 15, 2015
CONTRACTOR	Jason Brendel	SCALE: 1/8"=1'-0"
CUSTOMER	Steve	DRAWN BY: Jerry Deason

150 29th AVE.
PO BOX 25
MILWAUKEE, WI 53214
PHONE: 414-881-1111
FAX: 414-881-1114

NOTE: VERIFY ALL DIMENSIONS

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE BATE FOR ALL GOVERNING CODES AND BUILDING PRACTICES, HOWEVER, STATE AND LOCAL CODES VARY WIDELY. THE DESIGNER, AND "DOC" SHALL NOT BE HELD LIABLE FOR ANY ERRORS. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES. DO NOT SCALE DRAWINGS. PRINTED DIMENSIONS OVERRIDE SCALING. VERIFY WITH THE ENDORSE MANUFACTURE ON ALL ENDORSE FITS AND APPLICABLE BUSINESS REQUIREMENTS. CONTRACTOR SHALL VERIFY ALL MECHANICAL AND ELECTRICAL REQUIREMENTS AND CLEARANCE. CONTRACTOR SHALL VERIFY ALL FLOOR AND ROOF BEARING LOCATIONS. CONTRACTOR SHALL VERIFY ALL BEAM AND HEADER SIZES FOR CODE COMPLIANCE.